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Large-scale Residential Development (LRD) Application process



What is an LRD?

Large scale Residential Developments (LRDs) are a new arrangement for planning applications that includes development of:

- 100 or more houses
- 200 or more student accommodation bed spaces
- Combination of houses and student accommodation (satisfying at least one of the above)

Non-residential developments proposed within an LRD application is restricted to 30% of the total floor area.

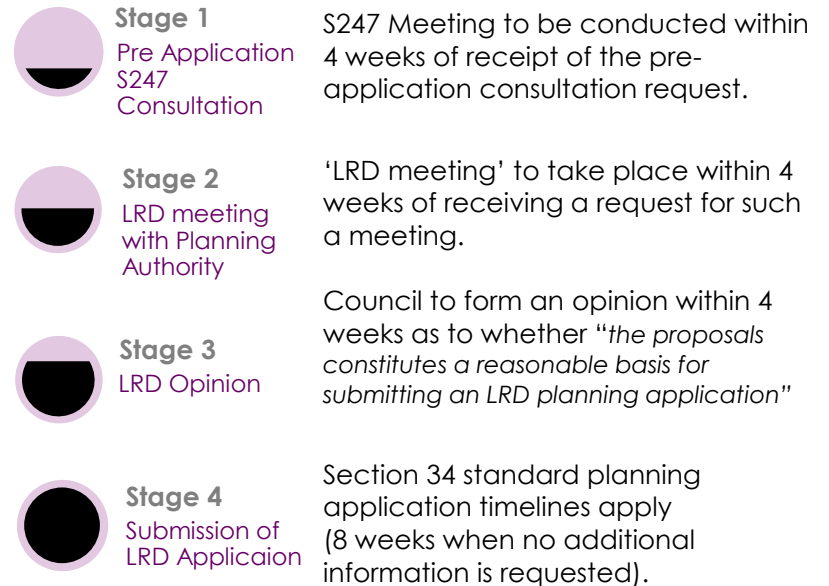
Legislation – New Act and Regulations

The Government, in line with their commitment to end and replace the Strategic Housing Development (SHD) process, established a new application process (LRD). Under this new arrangement, LRD applications are made directly to the local authority.

The Planning and Development (Amendment) (Large-scale Residential Development) Act 2021 came into effect as of 17th December 2021, which is the commencement date for dealing with LRD applications. New Regulations and Fee Structures also came into effect on 17th December 2021.



LRD: 4 Stage Process



Stage 1: Pre-application consultation

Pre-application section 247 consultation with the planning authority is an important requirement of the LRD process. The purpose of the pre-application consultation is to afford any prospective applicants an opportunity to seek advice from the local authority on any planning matters that may have a bearing on the decision of the application. A pre-application consultation can only be arranged with a person with sufficient legal interest in the land concerned and only with respect to a specific development proposal.



Stage 2: LRD meeting with the Planning Authority

After a prospective LRD applicant has completed a section 247 meeting, they may request an 'LRD meeting' with that local authority. Following the receipt of LRD consultation request, the Planning Authority is required to facilitate a consultation meeting with the applicant within 4 weeks of the date receipt of such a request. All LRD proposals are required to undertake an 'LRD meeting' with the relevant planning authority for the purpose of receiving an 'LRD opinion' recommending whether *"the proposal constitutes a reasonable basis for submitting an LRD planning application"* under Section 32(D) of the Planning and Development Act, 2000-2021. Fee for submitting a pre-application consultation request is €1,500.

Stage 3: Forming and Issuing of 'LRD Opinion'

Following the LRD meeting with a prospective applicant the planning authority is required to form an 'LRD opinion' within 4 weeks from the date of consultation. This involves considering the documents submitted for the purposes of the 'LRD meeting' as to whether the proposal constitutes a reasonable basis to make an LRD planning application. Where the Council forms the opinion that further consideration and amendment is required, it shall provide advice as to what issues need to be addressed by the prospective applicant in the documents to be submitted with an application. The 'LRD opinion' issued by the Local Authority is only valid up to 6 months and will be made available to the public upon the lodgment of an application.



Stage 4: LRD Application

A prospective LRD applicant is required to fulfil the following requirements prior to making an LRD application:

- Has engaged with the local authority under Section 247 and received an LRD opinion (dated within 6 months)
- Application has addressed any issues identified or deficits in information set out within the 'LRD opinion'
- The applicant is required to make a copy of the LRD application available for public viewing on a dedicated website

Under this new arrangement, Local Authorities are now able to request additional information with respect to an LRD planning application. But this can only be requested once during the application process.

Fee for submitting an LRD application is given below

LRD Application	Fee	Retention Permission
Basic fee structure for each housing unit	€130 per housing unit	€390 per housing unit
Student accommodation, 2 bed spaces = 1 housing unit.		
Fee Structure for other uses on the land: Cost per square metre of gross floor space	€7.20 per square metre to a maximum of €32,400	€15 per square metre to a maximum of €65,000
Submission of EIAR	€10,000	€10,000
Submission of NIS	€10,000	€10,000
The maximum fee payable to a planning authority by an applicant in respect of an application for permission for a large - scale residential development shall be €80,000		



How to take part



Making an observation

Once an LRD planning application has been submitted, prescribed bodies, members of the public, and elected members of the local authority will be able to make observations on the proposed development. If you want to make an observation on an existing application, you must do this within 5 weeks from the date when the application was registered.

Fee for making an observation is €20.



Appeal

If you are the applicant of an LRD, you can make a First Party appeal to An Bord Pleanála within four weeks of receiving a decision from the planning authority. If you have made an observation/submission to the planning authority on a proposed LRD, you are eligible to make a Third-Party appeal to An Bord Pleanála within four weeks of a decision being made by the Planning Authority.

The board is required to determine LRD appeals within 16 weeks of receipt of the appeal, where no oral hearing or additional information has been requested.

Contact Us

Any enquiries on the LRD process can be emailed to LRD@fingal.ie

Alternatively, queries can be posted to the address below:

Planning Department, Fingal County Council, County Hall, Main Street, Swords, Co Dublin. **Telephone:** (01)8905541

Disclaimer: The above document is intended for information purposes. It does not purport to be a legally binding interpretation of the relevant provisions and it would be advisable for persons to seek relevant professional advice.

